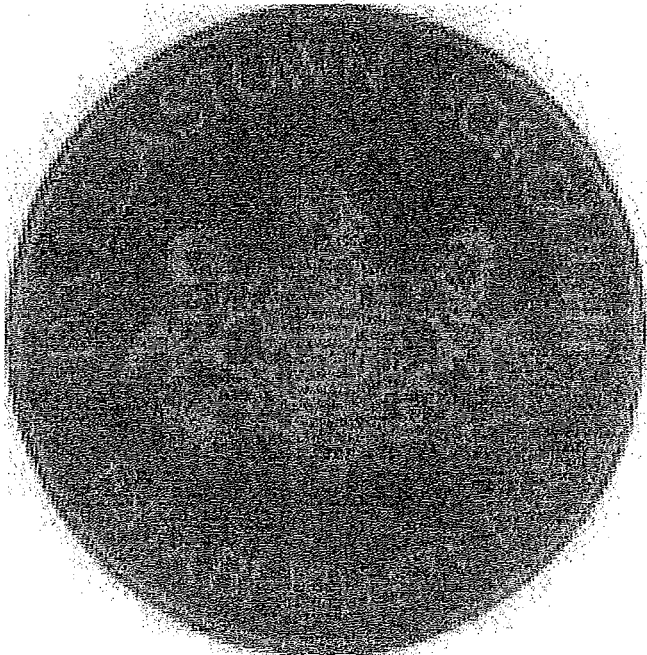
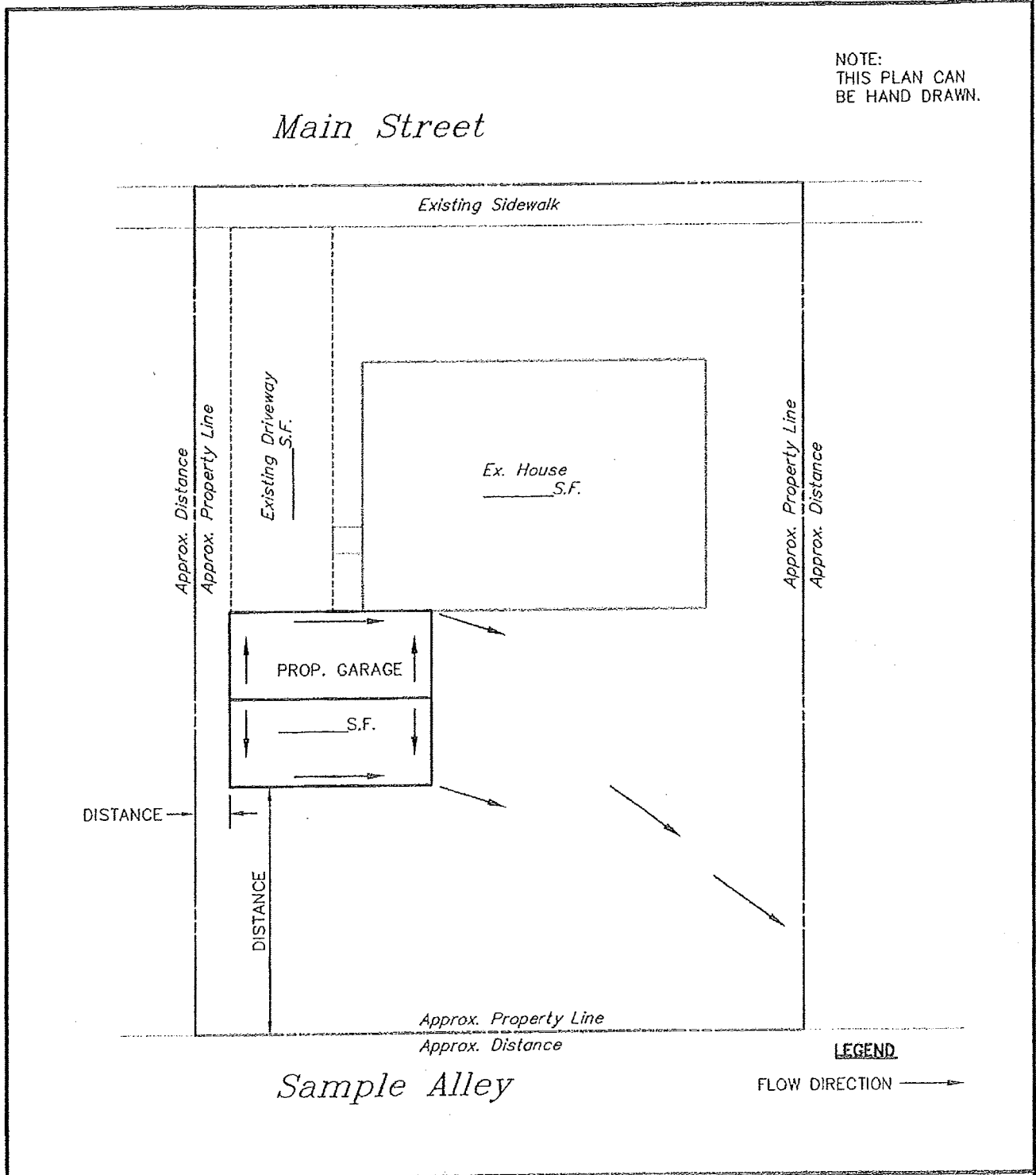


Dallastown Borough

**Stormwater Management Small
Project's Guide**



NOTE:
THIS PLAN CAN
BE HAND DRAWN.



DALLASTOWN BOROUGH



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 315 W. JAMES ST., SUITE 102 LANCASTER, PA • PHONE (717) 481-2921 • FAX (717) 481-8690
 WWW.CSDAVIDSON.COM

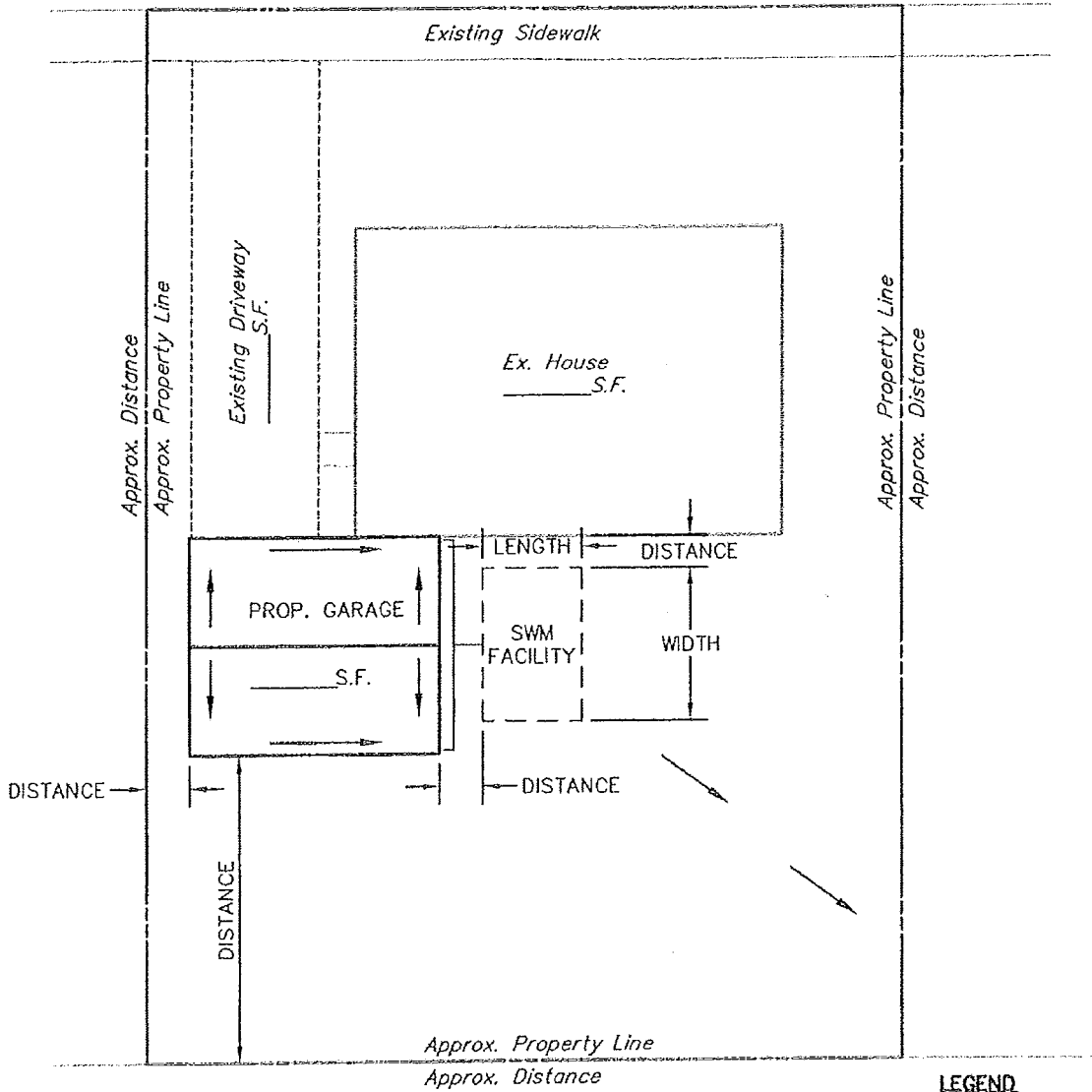
ATTACHMENT A1 SAMPLE SKETCH/ SITE PLAN

DALLASTOWN BOROUGH YORK COUNTY, PENNSYLVANIA

DRAWN BY	APS
CHECKED BY	
SCALE	N.T.S.
DATE	DECEMBER 2012
DWG. NO.	ORDINANCE EXHIBITS
FILE NO.	1209.9.00.07

NOTE:
THIS PLAN CAN
BE HAND DRAWN.

Main Street



Sample Alley

LEGEND

FLOW DIRECTION →

DALLASTOWN BOROUGH



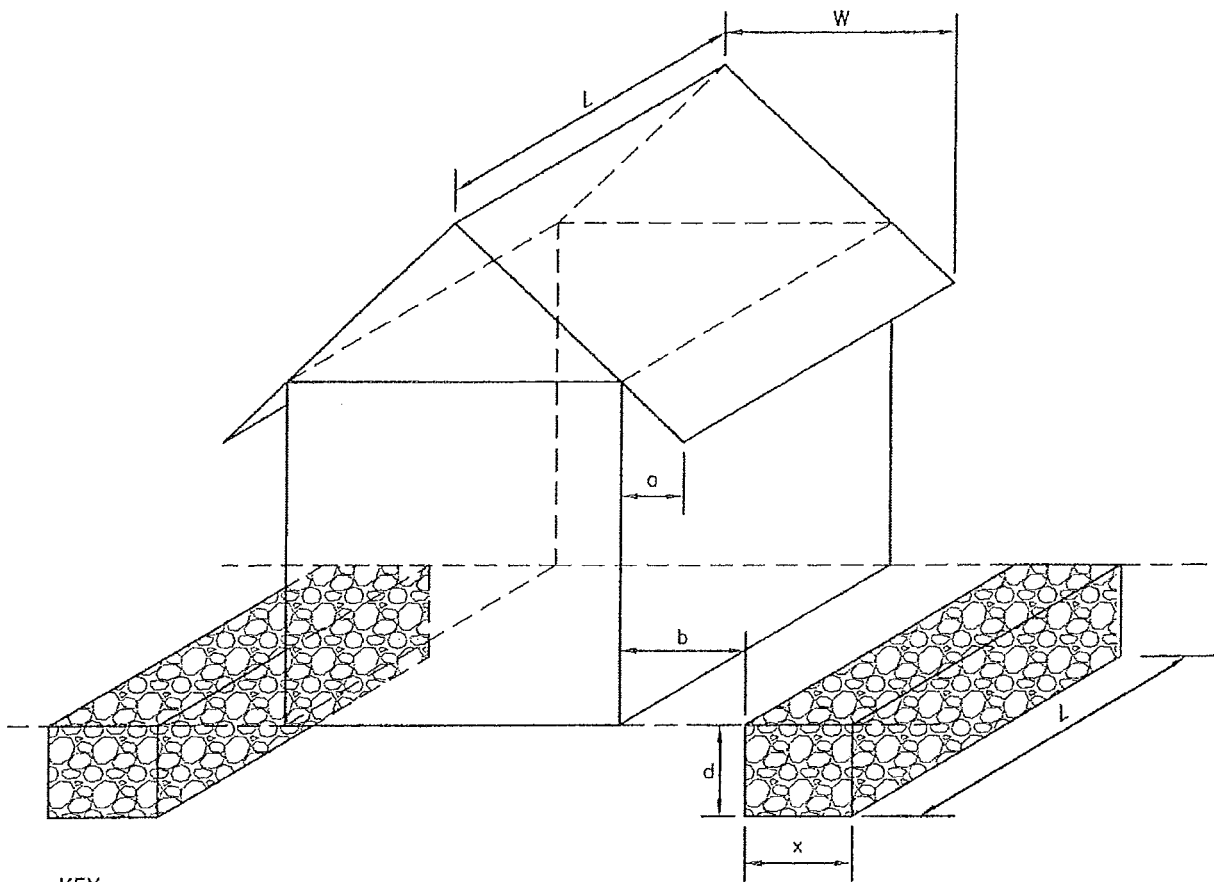
Excellence in Civil Engineering

38 N. DUKE STREET YORK, PA • PHONE (717) 846-4805 • FAX (717) 846-5811
 50 WEST MOOLE ST. GETTYSBURG, PA • PHONE (717) 337-3021 • FAX (717) 337-0782
 315 W. JAVES ST., SUITE 102 LANCASTER, PA • PHONE (717) 481-2931 • FAX (717) 481-8690
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ATTACHMENT A2
SAMPLE SWM SITE PLAN

DALLASTOWN BOROUGH YORK COUNTY, PENNSYLVANIA

DRAWN BY	APS
CHECKED BY	
SCALE	N.T.S.
DATE	DECEMBER 2012
DWG. NO.	ORDINANCE EXHIBITS
FILE NO.	1209.9.00.07



KEY

- L = LENGTH OF STRUCTURE ROOF = LENGTH OF SEEPAGE TRENCH (FT.)
- W = WIDTH OF ONE SIDE OF THE ROOF (FT)
- a = EAVE OVERHANG (FT)
- b = DISTANCE FROM STRUCTURE WALL TO SEEPAGE TRENCH (FT)
= a + 1 FT => PLACE EDGE OF TRENCH ONE FOOT PAST EAVES
- x = WIDTH OF SEEPAGE TRENCH (FT)
- d = DEPTH OF SEEPAGE TRENCH (FT)

REQUIRED VOLUME OF TRENCH => $L*W*2/12 = L*x*d*0.4 => X=0.28W$ (d=1.5')

RATIO: 3.6 TO 1
(IMPERVIOUS TO INFILTRATION)

NOTES

- 1.) TRENCH MUST BE PROVIDED ON EACH SIDE OF STRUCTURE.
- 2.) SIDE AND BOTTOM OF TRENCH TO BE WRAPPED IN CLASS 1 GEOTEXTILE.
- 3.) TRENCH TO BE FILLED WITH CLEAN STONE (3/4" MIN. SIZE).
- 4.) TRENCH TO BE CONSTRUCTED AT 0% SLOPE ON UNDISTURBED SOIL.
- 5.) TRENCH TO BE CHECKED REGULARLY TO MAINTAIN PROPER OPERATION.

DALLASTOWN BOROUGH



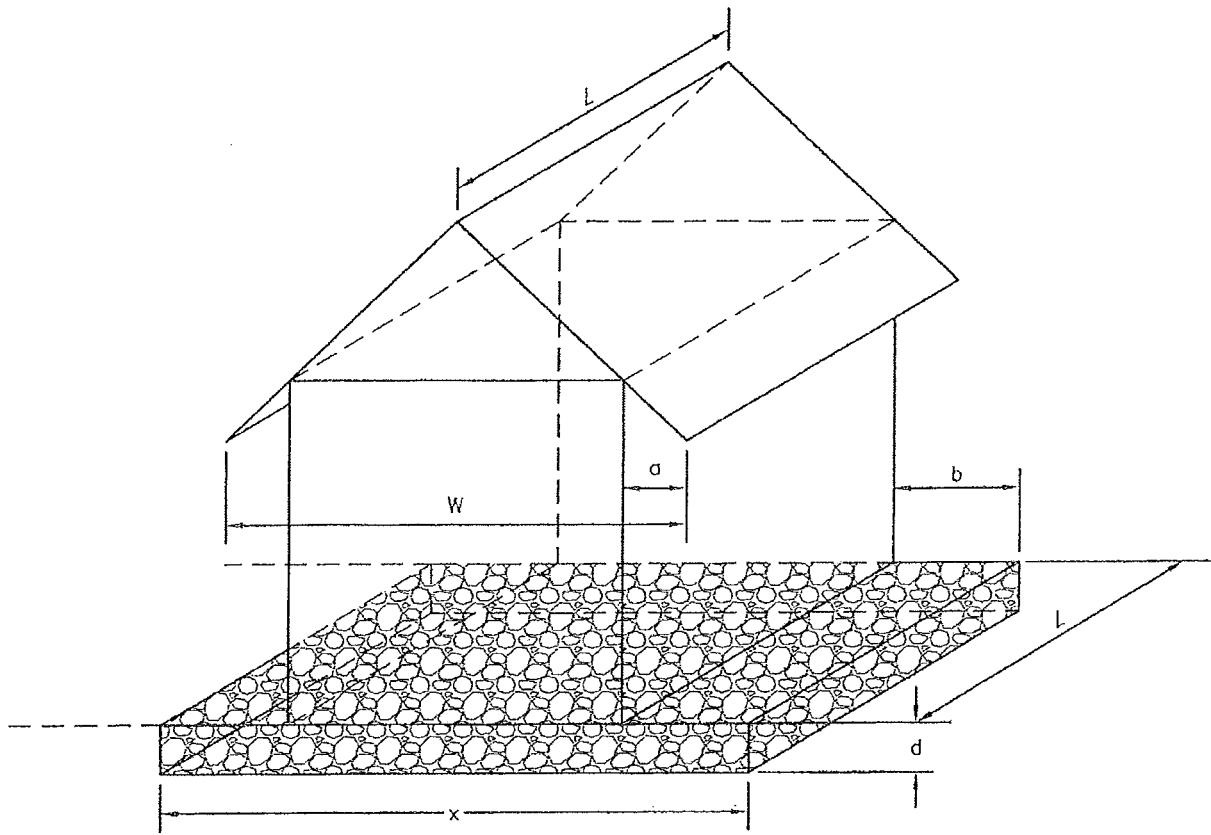
Excellence in Civil Engineering

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 50 WEST BIDDLE ST. GETTYSBURG, PA • PHONE (717) 337-3221 • FAX (717) 337-0782
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ATTACHMENT B1
 STORMWATER MANAGEMENT
 SAMPLE
 STRUCTURES WITHOUT GUTTERS A

DALLASTOWN BOROUGH YORK COUNTY, PENNSYLVANIA

DRAWN BY	APS
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SCALE	N.T.S.
DATE	DECEMBER 2012
DWG. NO.	ORDINANCE EXHIBITS
FILE NO.	1029.9.00.07



KEY

- L = LENGTH OF STRUCTURE ROOF = LENGTH OF SEEPAGE BED (FT.)
- W = WIDTH OF ENTIRE ROOF (FT)
- a = EAVE OVERHANG (FT)
- b = DISTANCE FROM STRUCTURE WALL TO EDGE OF SEEPAGE BED (FT)
= a + 1 FT => PLACE EDGE OF BED ONE FOOT PAST EAVES
- x = WIDTH OF SEEPAGE BED (FT)
x = W + 2 FT
- d = DEPTH OF SEEPAGE BED (FT)
d = 6" TO 8" (AVERAGE)

NOTES

- 1.) SIDE AND BOTTOM OF BED TO BE WRAPPED IN CLASS 1 GEOTEXTILE.
- 2.) BED TO BE FILLED WITH CLEAN STONE (3/4" MIN. SIZE).
- 3.) BED TO BE CONSTRUCTED AT 0% SLOPE ON UNDISTURBED SOIL.
- 4.) BED TO BE CHECKED REGULARLY TO MAINTAIN PROPER OPERATION.

DALLASTOWN BOROUGH



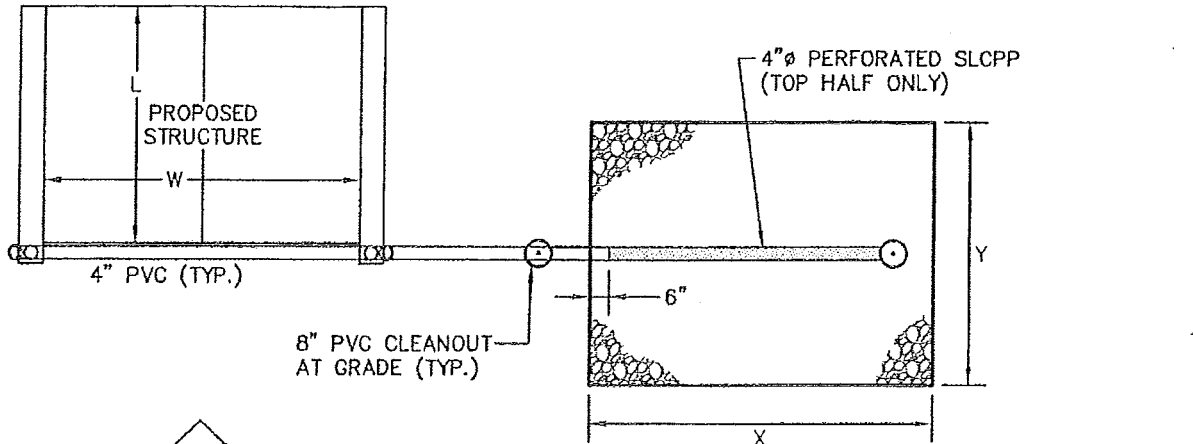
Excellence in Civil Engineering

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 50 WEST MADOLE ST. GETTYSBURG, PA • PHONE (717) 337-3021 • FAX (717) 337-0787
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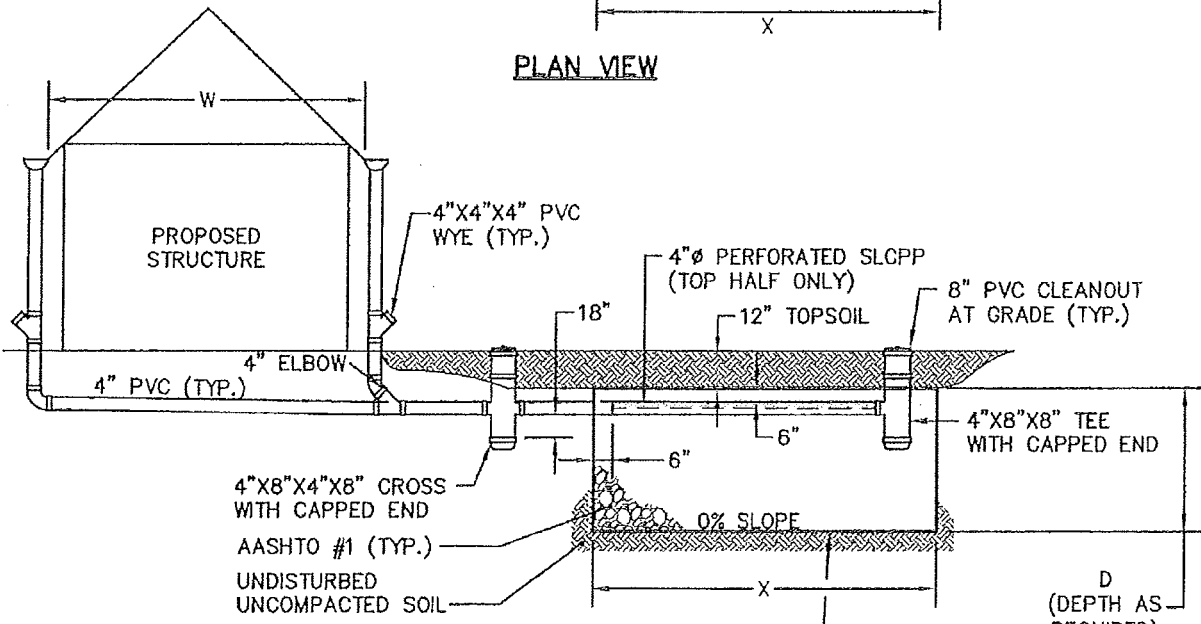
ATTACHMENT B2
 STORMWATER MANAGEMENT
 SAMPLE
 STRUCTURES WITHOUT GUTTERS B

DALLASTOWN BOROUGH YORK COUNTY, PENNSYLVANIA

DRAWN BY	APS
CHECKED BY	
SCALE	N.T.S.
DATE	DECEMBER 2012
DWG. NO.	ORDINANCE EXHIBITS
FILE NO.	1029.9.00.07



PLAN VIEW



SECTION VIEW

KEY

- L = LENGTH OF STRUCTURE ROOF (FT)
- W = WIDTH OF ENTIRE ROOF (FT)
- X = WIDTH OF INFILTRATION BED (FT)
- Y = LENGTH OF INFILTRATION BED (FT)

REQUIRED VOLUME OF BED = $L*W*2/12 = X*Y*D*0.4$ ASSUME: $X=W$
 $D=2'$

Y=0.21L
 RATIO: 4.76 TO 1
 (IMPERVIOUS TO INFILTRATION)

NOTES

- 1.) BOTTOM OF BED TO BE D+1' BELOW GRADE TO ACCOUNT FOR 1' OF TOPSOIL.
- 2.) PIPING AND CLEANOUTS TO BE CENTERED WITHIN INFILTRATION BED.
- 3.) BED TO BE CHECKED REGULARLY TO MAINTAIN PROPER OPERATION.

DALLASTOWN BOROUGH

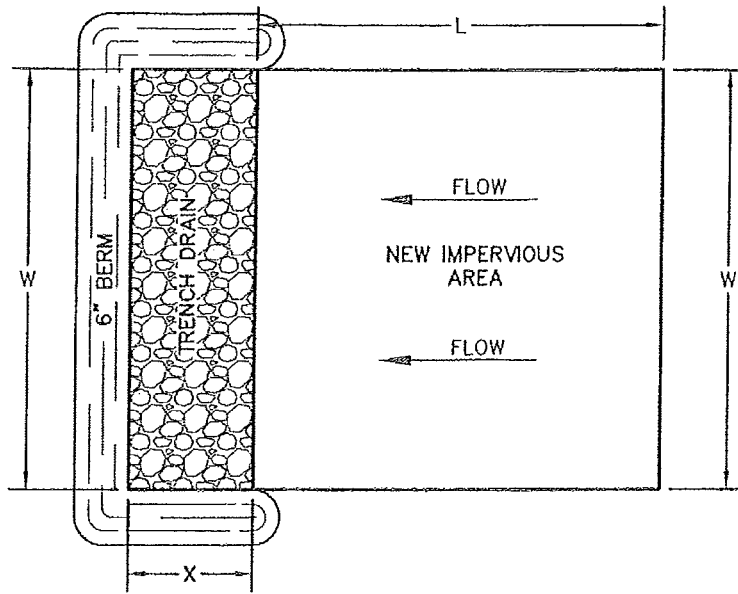


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 315 W. JAMES ST., SUITE 102 LANCASTER, PA • PHONE (717) 461-2991 • FAX (717) 461-8690
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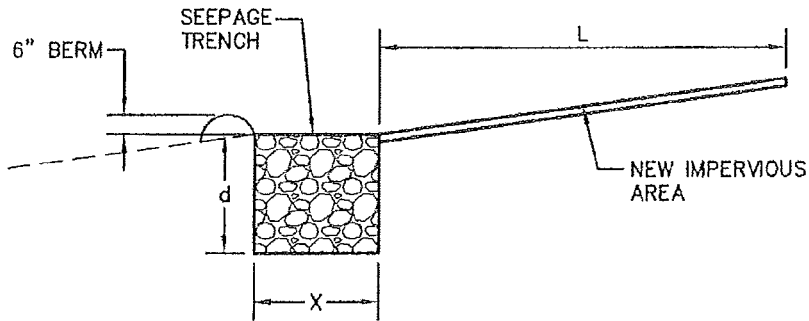
ATTACHMENT B3
 STORMWATER MANAGEMENT
 SAMPLE
 STRUCTURES WITH GUTTERS

DALLASTOWN BOROUGH YORK COUNTY, PENNSYLVANIA

DRAWN BY	APS
CHECKED BY	
SCALE	NONE
DATE	DECEMBER 2012
DWG. NO.	ORDINANCE EXHIBITS
FILE NO.	1209.9.00.07



PLAN VIEW



SECTION VIEW

KEY

- L = LENGTH OF NEW IMPERVIOUS SURFACE (FT) – MAY NOT EXCEED 75'
- W = WIDTH OF NEW IMPERVIOUS SURFACE = LENGTH OF SEEPAGE TRENCH (FT)
- X = WIDTH OF SEEPAGE TRENCH (FT)
- d = DEPTH OF SEEPAGE TRENCH (FT)

REQUIRED VOLUME OF TRENCH => $W*L*2/12 = X*W*d*0.4$ => $X=0.28L$ (D=1.5')

NOTES

- 1.) SIDE AND BOTTOM OF TRENCH TO BE WRAPPED IN CLASS 1 GEOTEXTILE.
- 2.) TRENCH TO BE FILLED WITH CLEAN STONE (3/4" MIN. SIZE).
- 3.) TRENCH TO BE CONSTRUCTED AT 0% SLOPE ON UNDISTURBED SOIL.
- 4.) TRENCH TO BE CHECKED REGULARLY TO MAINTAIN PROPER OPERATION.

DALLASTOWN BOROUGH

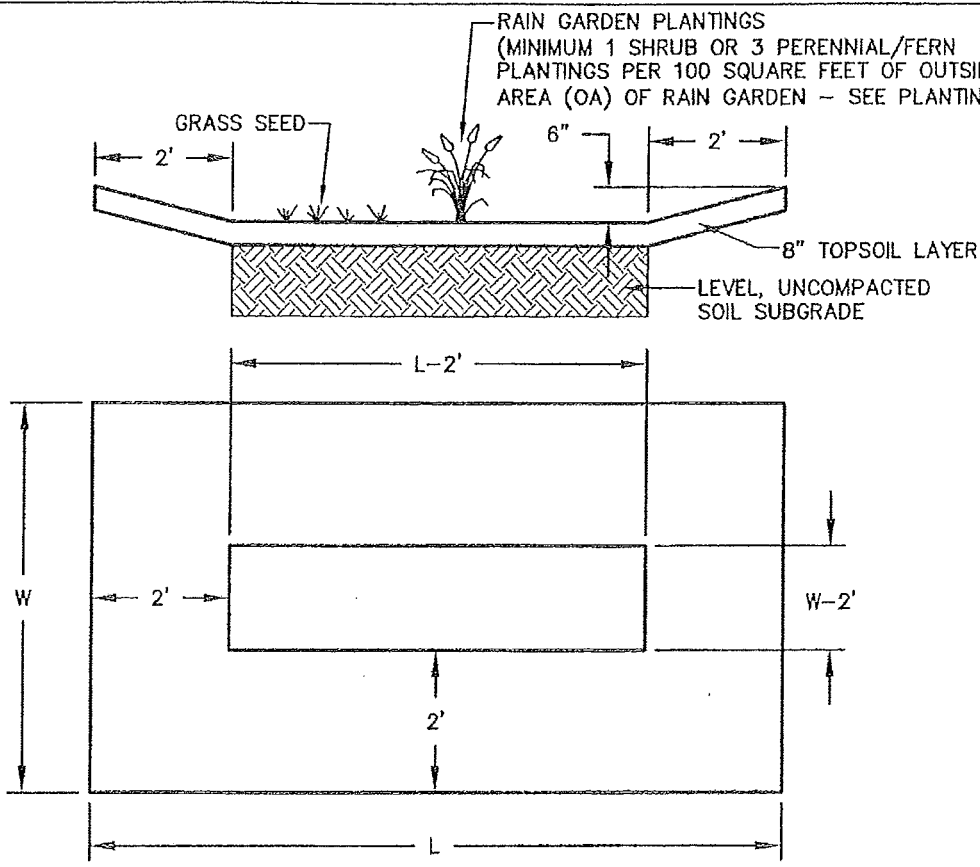


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 50 WEST WOODLE ST. GETTYSBURG, PA • PHONE (717) 337-3021 • FAX (717) 337-0782
 315 W. JAMES ST., SUITE 102 LANCASTER, PA • PHONE (717) 481-2991 • FAX (717) 481-8890
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ATTACHMENT B4
 STORMWATER MANAGEMENT
 SAMPLE
 AT GRADE IMPERVIOUS

DALLASTOWN BOROUGH YORK COUNTY, PENNSYLVANIA

DRAWN BY	APS
CHECKED BY	
SCALE	N.T.S.
DATE	DECEMBER 2012
DWG. NO.	ORDINANCE EXHIBITS
FILE NO.	1209.9.00.07



1. CALCULATE REQUIRED RAIN GARDEN VOLUME (V)
 $(RV) = \text{SQUARE FEET OF NEW IMPERVIOUS AREA} \times 0.17'$ RV = _____ ft³
2. CALCULATE OUTSIDE AREA OF RAIN GARDEN (OA)
 $(OA) = \text{LENGTH (L)} \times \text{WIDTH (W)}$ OA = _____ ft²
3. CALCULATE INSIDE AREA OF RAIN GARDEN (IA)
 $(IA) = [(L - 2')] \times [(W - 2')]$ IA = _____ ft²
4. CALCULATE AVERAGE AREA OF RAIN GARDEN (AA)
 $(AA) = (OA)/2 + (IA)/2$ AA = _____ ft²
5. CALCULATE STORAGE VOLUME (SV)
 $(SV) = (AA) \times 0.5'$ SV = _____ ft³
6. CHECK FOR ADEQUATE STORAGE
 STORAGE VOLUME (SV) MUST BE GREATER THAN REQUIRED VOLUME (RV)
 $RV = \text{_____ ft}^3 > SV = \text{_____ ft}^3$
7. ADJUST RAIN GARDEN SIZE
 IF STORAGE VOLUME (SV) IS NOT GREATER THAN REQUIRED VOLUME (RV), INCREASE THE SIZE OF THE RAIN GARDEN AND REPEAT STEPS 2-6

DALLASTOWN BOROUGH



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 315 W. JAMES ST., SUITE 102 LANCASTER, PA • PHONE (717) 481-2971 • FAX (717) 481-8690
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ATTACHMENT B5 RAIN GARDEN

DALLASTOWN BOROUGH YORK COUNTY, PENNSYLVANIA

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SCALE	N.T.S.
DATE	DECEMBER 2012
DWG. NO.	Rain Garden Detail.dwg
FILE NO.	1209.9.00.07

Rain Garden Native Planting List

Perennials and Ferns:

Blue false indigo (*Baptisia australis*)
Blue flag iris (*Iris versicolor*)
Blue star (*Amsonia tabernaemontana*)
Blue vervain (*Verbena hastata*)
Boltonia (*Boltonia asteroides*)
Boneset (*Eupatorium perfoliatum*)
Bottlebrush grass (*Hystrix patula*)
Broomsedge (*Andropogon virginicus*)
Cardinal flower (*Lobelia cardinalis*)
Cinnamon fern (*Osmunda cinnamomea*)
Culvers root (*Veronicastrum virginicum*)
Golden ragwort (*Senecio aureus*)
Goldenrod (*Solidago patula*, *S. rugosa*)
Great blue lobelia (*Lobelia siphilitica*)
Green bullrush (*Scirpus atrovirens*)
Horsetail (*Equisetum* species)
Marsh marigold (*Caltha palustris*)
Mistflower (*Eupatorium colestinum*)
Monkey flower (*Mimulus ringens*)
New England aster (*Aster novae-angliae*)
New York aster (*Aster novi-belgii*)
Obedient plant (*Physotegia virginiana*)
Royal fern (*Osmunda regalis*)
Seedbox (*Ludwigia alternifolia*)
Sensitive fern (*Onoclea sensibilis*)
Sneezeweed (*Helenium autumnale*)
Soft rush (*Juncus effusus*)
Swamp milkweed (*Asclepias incarnata*)
Swamp rose mallow (*Hibiscus moscheutos*)
Swamp sunflower (*Helianthus angustifolius*)
Switchgrass (*Panicum virgatum*)
Threadleaf coreopsis (*Coreopsis verticillata*)
Tussock sedge (*Carex stricta*)
White turtlehead (*Chelone glabra*)
Woolgrass (*Scirpus cyperinus*)

Shrubs:

American beautyberry (*Callicarpa americana*)
Arrowwood (*Viburnum dentatum*)
Black chokeberry (*Aronia melanocarpa*)
Broad-leaved meadowsweet (*Spirea latifolia*)
Buttonbush (*Cephalanthus occidentalis*)
Elderberry (*Sambucus canadensis*)
Inkberry (*Ilex glabra*)
Narrow-leaved meadowsweet (*Spirea alba*)
Ninebark (*Physocarpus opulifolius*)
Possumhaw (*Viburnum nudum*)
Red-osier dogwood (*Cornus sericea*)
St. Johnswort (*Hypericum densiflorum*)
Silky dogwood (*Cornus amomum*)
Smooth alder (*Alnus serrulata*)
Spicebush (*Lindera benzoin*)
Swamp azalea (*Rhododendron viscosum*)
Swamp rose (*Rosa palustris*)
Sweet pepperbush (*Clethra alnifolia*)
Wild raisin (*Viburnum cassinoides*)
Winterberry (*Ilex verticillata*)
Virginia sweetspire (*Itea virginica*)

STORMWATER MANAGEMENT GUIDELINES

Applications for adding additional impervious areas (impervious materials and surfaces include buildings, decks, patios, porches, garages, pools, sidewalks, stone and paved driveways, stone and paved parking areas, sheds, etc.) to your property will require stormwater runoff considerations. A stormwater permit is required.

The calculation of impervious square footage subject to the Small Project Site Activities fee in lieu program shall run with the land and shall be cumulative beginning January 1, 2013 (Ordinance 575-12). The initial and all future projects subject to payment, as set forth in the fee schedule below, shall be added to any future projects for the purpose of (a) calculating any fee; and (b) determining eligibility for the Small Project Site Activities fee in lieu provisions. Once the total of all projects exceed 500 sq feet (cumulative from 1/1/13), the property is no longer eligible for a Small Project Site Activity payment in lieu of. The construction of a Stormwater Best Management Practices (BMP) under the Dallastown Borough Stormwater Management Ordinance is required. A Stormwater Permit is required regardless for all projects. Once the total accumulated impervious area exceeds 1000 square feet, a Stormwater Management Plan (SWM) prepared by an engineer is required. The Borough Engineer will review the SWM plan and inspect the construction of the stormwater BMP.

STORMWATER PERMIT FEE SCHEDULE TABLE

0 – 250 SF: \$1.50 / SF or pay no fee and install a small projects stormwater BMP
251– 500 SF: \$375 plus \$3.00 / SF or pay no fee but install a small projects stormwater BMP
501 – 1000 SF: \$50 plan review & inspection fee to install a stormwater BMP per the stormwater ordinance
> 1000 SF: \$200 application fee plus review and inspection fees for a professionally designed stormwater BMP

DEMOLITION GUIDELINES

§ 224-29 Demolition.

Demolition of any structure must be completed within 90 days of the issuance of a permit. Completion consists of tearing the structure down to grade, filling any resulting cavity to grade and removing all resulting debris from the lot. Wood, asphalt shingles and similar building materials shall not be buried or used as fill at the demolition site but must be disposed of at an approved solid waste disposal facility certified to dispose of such materials. A structure may be partly demolished only if a usable structure or building remains, and the demolition of the part is completed as required in the previous sentence. All evidence of the structure which was demolished must be removed from the exterior surfaces of the remaining structure or building. Proof of performance bond and liability insurance must be shown for work of \$1,000 or more.

§ 90-5 Fees

Demolitions. For a permit for the demolition of a building or structure, the fee shall be equal to 10% of the total cost of demolition.

[Amended 6-11-2018 by Ord. No. 591]

SWM Permit #: _____

**DALLASTOWN BOROUGH
STORMWATER MANAGEMENT PERMIT APPLICATION**

If you, as a property owner, are planning to construct any type of structure or improvement to your property (patio, driveway, etc.) that will impact the stormwater runoff leaving your property, then you must comply with Municipal Stormwater Management Ordinance No. 575-12. Completion of this form will allow the staff to guide you through the associated regulations.

Step 1: Complete the Project Information

Property Owner: _____

Property Address: _____

Daytime Phone Number: _____ (preferred)

Email Address: _____ (preferred)

Proposed Development (Please provide information regarding size, type, distance from property lines and existing site features, etc. Attach any manufacturer's sheets or other information related to the proposed development):

Have any other exterior improvements been completed on the property since January 1, 2013 (*Effective Date of SWM Ordinance*)? If so please list the projects and permit numbers _____.

Step 2: Provide Sketch Plan of Property

Plan shall include property lines, existing improvements and proposed improvements. Please indicate which direction the property slopes as well as provide detailed drainage information for proposed improvements (roof breaks, gutters, downspout locations, etc. (Sample included as Attachment A1 in Small Project's Guide).

Sketch Plan Provided

Step 3: Summarize Proposed Impervious Area

- New Pavement (Parking area, driveway) _____ ft²
- New Building (Shed, Garage, Addition) _____ ft²
- Sidewalk or Patio (Concrete, Brick) _____ ft²
- Removal of existing impervious area _____ ft²
- Changing the ground surface/cover (Clearing a wooded lot, converting a meadow area to yard) _____ ft² (Municipal Engineer to be contacted by Borough)
- Farming Activities (not new buildings or impervious) – If in compliance with Chapter 102, exempted from formal submission.
- Timber Activities - If in compliance with Chapter 102, exempted from formal submission.
- Stormwater Improvement - Not associated with a new impervious area (Municipal Engineer to be contacted by Borough)

Applicant Name (Printed)

Signature

Date

Small Projects Guide - Operation & Maintenance Plan

Construction:

1. Install erosion and sedimentation control facilities.
2. Stormwater Management Facility (ies) shall be installed before impervious areas are completed. If earthwork is involved during the construction of the impervious area, then extreme caution shall be taken so that sediment does not wash into the SWM Facility (ies).
3. Mark the locations of the SWM facility (ies).
4. Excavate the SWM Facility to the required depth. Contact municipality for inspection prior to filling. If standing water is encountered, a SWM Site Plan may need to be submitted; contact Municipal Engineer. All excavated materials shall be removed from the site or stabilized.

For Stone Infiltration Structures

5. Line excavation with Geotextile.
6. Backfill SWM Facility with required stone. If required: Install piping, cleanouts and associated facilities as detailed.
7. If required: Close geotextile material over stone bedding.
8. If required: Place topsoil over trench.
9. Stabilize and seed all disturbed areas.

For Rain Gardens

5. Place topsoil over excavated area.
6. Install plantings as shown on the plan.
7. Stabilize and seed all disturbed areas.

Maintenance:

1. The SWM Facility shall be checked regularly to ensure that no standing water exists in the facility 3 days after a rain event. If water is encountered, the facility may need to be modified. Notification of the municipality is required if facility is not functioning before any modifications are made.
2. Monitor the SWM facility to ensure that no sediment, grass clippings, leaves, and other similar accumulations occur on top of, and/or within, the SWM Facility.

I have read and agree to the above Operation and Maintenance Plan. I, as the property owner, am responsible for the proper construction, operation and maintenance for the SWM Facilities. If I fail to adhere to any of these tasks, the Borough may perform the services required and charge the appropriate fees. Nonpayment of the fees may result in a lien against my property.

Applicant Name (Printed)

Signature

Date

DALLASTOWN BOROUGH
York County, Pennsylvania

RESOLUTION 2013-1

BE IT RESOLVED by the Borough of Dallastown, York County, Pennsylvania, and it is hereby resolved by the authority of the same, that the fees to be collected for Stormwater Management Activities pursuant to Dallastown Borough Ordinance 575-12 are, pursuant to further authorization set forth in and ordinance for amending said rate, hereby amended to be and shall hereafter be as follows:

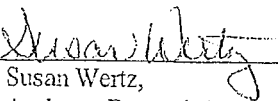
Square Footage of New Accumulated Impervious Area	Fee
One to two hundred and fifty (1 – 250) square feet	One dollar and fifty cents per square foot (\$1.50 per square foot)
Two hundred and fifty-one to five hundred (251 – 500) square feet	\$375 plus \$3.00 per sq. ft. over 251 sq. ft. up to 500 sq. ft.
Five hundred and one to one-thousand (501 – 1000) square feet	Fifty dollar plan review and inspection fee (\$50.00)

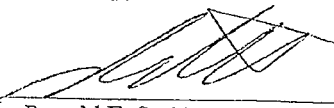
The fees for Stormwater Management Activities regulated under Ordinance 575-12 set by this Resolution shall be and become effective immediately upon adoption of the Resolution.

ORDAINED AND RESOLVED, this 11th day of February, 2013.

ATTEST:

COUNCIL OF THE BOROUGH OF
DALLASTOWN

By: 
Susan Wertz,
Assistant Borough Secretary

By: 
Ronald E. Smith,
President of Borough Council